



Queensland **Housing Code**

Queensland Development Code Part 1.1

June 2025

Consultation draft



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Preliminary

1. Name of the Queensland Development Code (QDC) Part 1.1

Queensland Development Code Mandatory Part 1.1 can be cited as the Queensland Housing Code (QHC).

2. Purpose

To provide good residential design that promotes the efficient use of land and acceptable amenity and privacy to residents.

3. Commencement

This QDC Part was published on [.....] and commences on [.....].

4. Repeal of QDC Mandatory Parts 1.1 and 1.2

From the commencement date of [.....] the Parts QDC - 1.1 and 1.2 are repealed.

5. Application of Queensland Housing Code

1. The QHC applies to the design and siting of new *building work* for:
 - (a) one *Class 1 building* on a single *lot* – Chapters 1 and 2; and
 - (b) associated *Class 10a buildings and structures* – Chapters 1 and 2.
2. The QHC applies to all zones where a *dwelling* is a permitted use.
3. Where development involves more than one *dwelling* on a single *lot*, the QHC applies to the *primary dwelling* but not to a *secondary dwelling* or any additional *dwellings* proposed for the lot.
4. The QHC does not apply to:
 - (a) *development* in a declared Priority Development Area (PDA); or
 - (b) except for *swimming pools, structures less than 1 metre above the ground level; or*
 - (c) *building work within a tourist park.*
 - (d) *associated equipment* for an electric line.

Note:

- i. *Development* in a PDA must comply with the requirements of the land use plan for the area and guidelines issued by Economic Development Queensland.
 - ii. Compliance with this Part does not provide planning approval to use land for residential *development*.
 - iii. This part does not deal with indoor *swimming pools*.
 - iv. Where there is more than one *dwelling* on a *lot*, all QHC minimum requirements apply to the *primary dwelling* but not to the additional *dwellings*. For example, *site cover* and *setback* requirements apply to the *primary dwelling* but not additional *dwellings*. However, additional *dwellings* must not impact on the provision of *private open space* or *landscape open space* required for the *primary dwelling*.
5. Chapter 1 applies to *lots* under 450 metres²
 6. Chapter 2 applies to *lots* 450 metres² and over

7. If the proposed *building work* is located entirely or partially within a *relevant overlay*, the requirements of the QHC will be varied by the provisions of the *relevant overlay* only to the extent that such variations are stated. Where the *relevant overlay* does not contain provisions under parts of the QHC, the QHC continues to apply.

6. Transitional arrangements

Transitional arrangements under sections 36 and 37 of the *Building Act 1975* apply for the application of QHC QDC Part 1.1. For applications lodged prior to the commencement date, a development approval may be given under the repealed QDC Parts 1.1 and 1.2.

7. Associated requirements

The following include requirements that are applicable to *building work* regulated under this Part. These requirements are additional to the requirements in this QDC Part:

1. Australian Standard AS/NZ 2890.1:2004 - Off street car parking
2. *Body Corporate and Community Management Act 1997*
3. *Building Act 1975*
4. Building Regulation 2021
5. *Land Title Act 1994*
6. Local government planning schemes
7. National Construction Code (NCC)
8. *Neighbourhood Disputes (Dividing Fences and Trees) Act 2011*
9. *Planning Act 2016*
10. Planning Regulation 2017

8. Performance criteria and acceptable solutions

1. Compliance with this QHC QDC Part 1.1 is governed by section 14 of the *Building Act 1975*.
2. Section 14 of the *Building Act 1975* provides that *building work* complies with the QDC only if it complies with all relevant *performance requirements* under the code. The *building work* complies with a relevant *performance requirement* only if it achieves a relevant building solution under the code for the requirement. This is only achieved by:
 - (a) complying with the Building Code of Australia (BCA) *deemed-to-satisfy* provisions or the QDC *acceptable solutions*; or
 - (b) formulating a performance solution which complies with the *performance criteria* or is shown to be at least equivalent to the *acceptable solutions*; or
 - (c) a combination of (a) and (b).
3. For the purpose of this part, the following are deemed to be QDC *acceptable solutions*:
 - (a) a *plan of development* approved by a *local government* that specifies matters regulated under this Part.

9. Referral agency

Schedule 9, Part 3, Division 2 of the Planning Regulation 2017 details when a *local government* is a *referral agency* for the QDC Part and matters the *referral agency's* assessment must be against.

In these circumstances, the application must be referred to the relevant *local government* to provide a *referral agency* response.

10. Illustrations

Illustrations have been included to provide examples of compliant designs that meet the requirements of the QHC. The illustrations are representative only and do not reflect all possible compliant designs.

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11. Definitions

Note: defined terms and references to legislation are *italicised*.

Acceptable solution as defined in Schedule 10 of the Building Regulation 2021:

acceptable solution, for a particular performance criteria, means the acceptable solution for the performance criteria stated in the QDC.

Adjoining premises as defined in Schedule 24 of the Planning Regulation 2017:

adjoining premises means premises that share a common boundary, including premises that meet at a single point on a common boundary.

Arch means a *Class 10 structure* providing a clear visible entry to a *dwelling* to enhance the experience of visitors to the *dwelling*.

Associated equipment as defined in section 17 of the *Electrical Safety Act 2002*.

Associated equipment, for an electric line, means something ordinarily found in association with the electric line, especially for the purpose of protecting, insulating or supporting, or supporting the operation of, the electric line.

Examples of associated equipment—

- a bracket, casing, coating, covering, duct, frame, insulator, pillar, pipe, pole, tower or tube enclosing, surrounding or supporting a wire or conductor
- an air break, circuit breaker, switch, transformer or other apparatus connected to a wire or conductor

Balcony means an unenclosed external platform, whether roofed or unroofed, attached to a *building* and 1m or more above *ground level*; generally includes balustrades.

Bdy in a figure means boundary.

Building as defined in Schedule 2 of the *Building Act 1975*:

building—

- 1 A *building* is a fixed structure that is wholly or partly enclosed by walls or is roofed.
- 2 The term includes a floating building and any part of a building.

Building height as defined in Schedule 4 of the Planning Regulation 2017:

building height, of a building, means—

- (a) the vertical distance, measured in metres, between the ground level of the building and the highest point on the roof of the building, other than a point that is part of an aerial, chimney, flagpole or load-bearing antenna; or
- (b) the number of storeys in the building above ground level.

Building work as defined in section 5 of the *Building Act 1975*:

(1) **Building work** is—

- (a) building, repairing, altering, underpinning (whether by vertical or lateral support), moving or demolishing a building or other structure; or
 - (b) excavating or filling—
 - (i) for, or incidental to, the activities mentioned in paragraph (a); or
 - (ii) that may adversely affect the stability of a building or other structure, whether on the land on which the building or other structure is situated or on adjoining land; or
 - (c) supporting, whether vertically or laterally, land for activities mentioned in paragraph (a); or
 - (d) other work regulated under the building assessment provisions.
- (2) For subsection (1)(d), work includes a management procedure or other activity relating to a building or structure even though the activity does not involve a structural change to the building or structure.

Built to boundary (BTB) means *building work* built that is on a *lot* boundary and includes *building work* within 750mm of a *lot* boundary.

Carpport means an unenclosed *Class 10a building with no garage door*, providing covered parking for *vehicles*.

Class 1 building as defined in section A6G2 of the *NCC*:

- (1) A Class 1 building is a dwelling.
- (2) Class 1 includes the following sub-classifications:
 - (a) Class 1a is one or more buildings, which together form a single dwelling including the following:
 - (i) A detached house.
 - (ii) One of a group of two or more attached dwellings, each being a building, separated by a fire-resisting wall, including a row house, terrace house, town house or villa unit.
 - (b) Class 1b is one or more buildings which together constitute—
 - (i) a boarding house, guest house, hostel or the like that—
 - (A) would ordinarily accommodate not more than 12 people; and
 - (B) have a total area of all floors not more than 300 m² (measured over the enclosing walls of the building or buildings); or
 - (ii) four or more single dwellings located on one allotment and used for short-term holiday accommodation.

Class 10a building as defined in section A6G11 of the *NCC*:

- (2) (a) Class 10a is a non-habitable building including a private garage, carport, shed or the like.

Class 10b structure as defined in section A6G11 of the *NCC*:

- (2) (b) Class 10b is a structure that is a fence, mast, antenna, retaining wall or free-standing wall or swimming pool or the like

Common boundary means a *lot* boundary that separates two *adjoining premises* and does not include a *frontage boundary*.

Community title lot means a title created by subdivision of land by way of a standard format plan of a community title scheme given under section 10 of the *Body Corporate and Community Management Act 1997*.

Corner lot means a *lot* that is located on a *road corner*.

Covered outdoor room means an outdoor area adjoining a house, generally used to provide weather protection for an entry or for dining / recreation, that is covered with a roof, including:

- (a) an alfresco
- (b) a patio
- (c) a deck
- (d) a pergola
- (e) a porch
- (f) a porte cochere
- (g) a verandah.

Deemed-to-Satisfy Solution as defined in Schedule 1 of the *NCC*:

Deemed-to-Satisfy Solution: *A method of satisfying the Deemed-to-Satisfy Provisions.*

Development as defined in Schedule 2 of *Planning Act 2016*:

development means—

- (a) carrying out—
 - (i) building work; or
 - (ii) plumbing or drainage work; or
 - (iii) operational work; or
- (b) reconfiguring a lot; or
- (c) making a material change of use of premises.

Dividing fence as defined in section 12 of the *Neighbourhood Disputes (Dividing Fences and Trees) Act 2011*:

- (1) A **dividing fence** means a fence on the common boundary of adjoining lands.
- (2) A fence separating the land of adjoining owners constructed on a line other than the common boundary is also a dividing fence if—
 - (a) it is impracticable to construct a fence entirely on the common boundary of the adjoining lands because of natural physical features; or
 - (b) the adjoining land includes 1 or more parcels of pastoral land separated by a watercourse, lake, or other natural or artificial feature insufficient to stop the passage of stock at all times.

Dwelling as defined in Schedule 24 of the Planning Regulation 2017:

dwelling means all or part of a building that—

- (a) is used, or capable of being used, as a self-contained residence; and
- (b) contains required facilities identified by Section 10.4.1 of the NCC (Housing Provisions) including—
 - (i) a kitchen sink and facilities for the preparation and cooking of food; and
 - (ii) a bath or shower; and
 - (iii) clothes washing facilities, comprising at least one washtub and space in the same room for a washing machine; and
 - (iv) a closet pan (toilet); and
 - (v) a washbasin.

External fixture means an aerial, antenna, chimney, flagpole, flue, light fitting, ornament, pipe, pump, satellite dish and other like structures.

External wall as defined in the NCC:

External wall

For the purposes of—

- (a) Volume One, an outer wall of a building which is not a [common wall](#); or
- (b) Volume Two, an outer wall of a building which is not a [separating wall](#).

Frontage boundary means any property boundary of a *lot* that can provide public access to a *lot* either from a *road*, sidewalk, footpath, park, open space or otherwise.

Garage means an enclosed *Class 10a building*, providing covered parking for vehicles.

Gatehouse means a *Class 10a building* providing a clear visible entry to a *dwelling* and may provide weather protection to enhance the experience of visitors to the dwelling.

Ground level as defined in Schedule 24 of the Planning Regulation 2017:

ground level means—

- (a) the level of the natural ground; or
- (b) if the level of the natural ground has changed, the level as lawfully changed.

Habitable room as defined in the NCC:

Habitable room

A room used for normal domestic activities, and—

- (a) includes a bedroom, living room, lounge room, music room, television room, kitchen, dining room, sewing room, study, playroom, family room, home theatre and sunroom; but

- (b) excludes a bathroom, laundry, water closet, pantry, walk-in wardrobe, corridor, hallway, lobby, photographic darkroom, clothes-drying room, and other spaces of a specialised nature occupied neither frequently nor for extended periods.

Height means:

- (a) in relation to the height of a *structure*—the vertical distance (in metres) from *ground level* to the highest point of a *structure*; or
- (b) in relation to the height of a *building* or *structure* for the purpose of determining a *setback* from a boundary—the vertical distance (in metres) from *ground level* to the *outermost projection*.

Note: *Building height* is defined separately

Landscape open space means an area of a lot required for *landscaping*.

Landscaping as defined in Schedule 6, Part 2, section 2(7) of the Planning Regulation 2017:

landscaping means any combination of trees, grass, plants, garden beds and paving.

Laneway means a *road* with a reserve width of less than 9m.

Local government as defined in Schedule 4 of the *Local Government Act 2009*:

local government—

- (a) for chapter 5, part 1—see section 113A(1); or
- (b) for chapter 5A—see section 150C; or
- (c) for chapter 6, part 7—see section 204G; or
- (d) for chapter 7, part 2—see section 216A; or
- (e) generally—see section 8(1).

Lot means:

- (a) a lot under the *Land Title Act 1994*; or
- (b) a separate, distinct parcel of land for which an interest is recorded in a register under the *Land Act 1994*; or
- (c) a community title lot.

Lot width means the shortest distance between two side *common boundaries* of a *lot* measured at the *primary frontage boundary* of the *lot*.

Maintenance free means building materials (such as unpainted or untreated masonry, steel sheeting or pre-finished materials) not requiring ongoing maintenance.

NCC means the *National Construction Code of Australia* and includes the edition of the code as amended from time to time by amendments published by the Australian Building Codes Board.

Outermost projection (OMP) as defined in Schedule 4 of the Planning Regulation 2017:

outermost projection, of a building or structure, means the outermost part of the building or structure, other than a part that is—

- (a) a retractable blind; or

- (b) a fixed screen; or
- (c) a rainwater fitting; or
- (d) an ornamental attachment.

Parkway means a *road* adjoining a park and providing limited vehicle access to the front of a *lot* which may be otherwise serviced by a *laneway*. A *parkway* may include a portion of land adjacent to a park, a footpath or a cycle path and provides access for Australia Post.

Performance criteria as defined in Schedule 10 to the Building Regulation 2021:

performance criteria, for building work, means the particular performance criteria for the building work stated in the QDC.

Performance requirement as defined in Schedule 2 to the *Building Act 1975*:

performance requirements means any of the following—

- (a) the performance requirements under the BCA;
- (b) the performance criteria under the QDC;
- (c) a requirement for the assessment of building work for which a discretion may need to be exercised under this Act.

Permitted use means the relevant zone in a local categorising instrument categorises a dwelling house as:

- (a) accepted development; or
- (b) assessable development - code assessment.

Plan of development means a plan or condition that applies to the *lot* and forms part of a development approval under the *Planning Act 2016*, that specifies matters regulated under this Part.

Pre-finished materials are materials that will not require ongoing maintenance post-construction.

Premises as defined in Schedule 2 of the *Planning Act 2016*:

premises means—

- (a) a building or other structure; or
- (b) land, whether or not a building or other structure is on the land.

Primary dwelling means:

- (a) a dwelling that a *secondary dwelling* is subordinate to; or
- (b) where there are multiple dwellings on a single lot - a dwelling that all other dwellings on the lot are subordinate to.

Primary frontage boundary of a *lot* is – in the following order of priority:

- (a) the boundary nominated by the *local government*; or
- (b) the *frontage boundary* nominated on an approved *plan of development*; or
- (c) the *frontage boundary* addressed by the *adjoining premises* or most commonly addressed by the nearest adjacent *buildings* as the *frontage boundary* of the *lot*, in that order of priority; or

- (d) where a *lot* is not vacant, the *frontage boundary* to which the existing *building* has its assigned street address; or
- (e) if the *lot* is on a *road corner*, the shortest *frontage boundary*.

Priority development area as defined in Schedule 1 of the *Economic Development Act 2012*:

priority development area means either of the following areas, as amended from time to time—

- (a) an area declared under section 34 as a provisional priority development area;
- (b) an area declared under section 37 as a priority development area.

Privacy fence means a fence (which may include a *dividing fence*) constructed of durable material and that if:

- (a) perforated, has:
 - (i) a maximum of 25% openings; and
 - (ii) each opening is not more than 50mm square; or
- (b) slatted or louvred, has:
 - (i) a maximum of 25% openings with clear vision at 90 degrees to the plane of the *window*; and
 - (ii) each opening provides not more than 50mm of clear vision at 90 degrees to the plane of the *window*.

Privacy screen means a translucent, perforated or slatted barrier, constructed of durable material and that if:

- (a) perforated, has:
 - (i) a maximum of 25% openings; and
 - (ii) each opening is not more than 50mm square; or
- (b) slatted or louvred, has:
 - (i) a maximum of 25% openings with clear vision at 90 degrees to the plane of the *window*; and
 - (ii) each opening provides not more than 50mm of clear vision at 90 degrees to the plane of the *window*.

Private open space (POS) means an outdoor space for the exclusive use of occupants of a *dwelling*.

QHC setback or **setback** means:

- (a) for an external wall of a *building*, the shortest distance, measured horizontally, between an *external wall* of the *building* to the vertical projection of the boundary of the *lot* where the *building* is; and
- (b) for a part of a *building* that is a *privacy screen*, *external fixture*, *covered outdoor room*, *balcony* or *weather control element*, the shortest distance, measured horizontally, between the part of the *building* to the vertical projection of the boundary of the *lot* where the part of the *building* is; and
- (c) for a *structure*, other than a *swimming pool*, the shortest distance, measured horizontally, between the *outermost projection* of a *structure* to the vertical projection of the boundary of the *lot* where the *structure* is; and
- (d) for a *swimming pool*, the shortest distance measured horizontally from the water's edge to the vertical projection of a boundary of the *lot*.

QHC site cover or **site cover** means

- (a) the portion of the site, expressed as a percentage, that will be covered by a building or structure and includes—
 - (i) for enclosed spaces – the area including the outside wall; and
 - (ii) for unenclosed spaces with a roof – the area measured along a line 600mm in from the outermost projection; and
 - (iii) for any other structure – the plan area of the structure measured from the outermost projection of the structure; and
- (b) but does not include the area of:
 - (i) a retaining wall; or
 - (ii) a fence.

Rear boundary means a *common boundary* opposite a *primary frontage boundary*.

Referral agency as defined in section 54(2) of the *Planning Act 2016*:

A **referral agency**, for a development application, is—

- (a) the person prescribed by regulation as a referral agency for applications of that type; or
- (b) if that person's functions have been devolved or delegated to another person—the other person; or
- (c) if the Minister has decided that a person is a referral agency under section 48(7)—that person.

Relevant overlay as defined in Schedule 6, Part 2, section 2(7) of the *Planning Regulation 2017*:

relevant overlay means—

- (a) an overlay, or part of an overlay, that is about—
 - (i) bush fire hazards, coastal hazards, flood hazards or landslide hazards; or
 - (ii) safety hazards arising from historic mining activities, including, for example, mining subsidence and mining contamination; or
- (b) an overlay, or part of an overlay, that includes an overlay code and is about—
 - (i) development of a local heritage place; or
 - (ii) development in a place with traditional building character; or
 - (iii) the protection of areas of natural, environmental or ecological significance, including the protection of the biodiversity, significant animals and plants, wetlands and waterways of such areas; or
 - (iv) development within an area identified on a map titled 'ANEF' on the State Planning Policy Interactive Mapping System.

Road as defined in section 93 of the *Land Act 1994*:

Meaning of road

- (1) A **road** means an area of land, whether surveyed or unsurveyed—
 - (a) dedicated, notified or declared to be a road for public use; or
 - (b) taken under an Act, for the purpose of a road for public use.

- (2) The term includes—
- (a) a street, esplanade, reserve for esplanade, highway, pathway, thoroughfare, track or stock route; and
 - (b) a bridge, causeway, culvert or other works in, on, over or under a road; and
 - (c) any part of a road.

Road corner means the intersection of two *roads* or a bend in a single *road* (including where they share the same name) where:

- (a) the angle between the *road* (or *road* parts) centre lines is no greater than 140 degrees; or
- (b) the two *roads* (or *road* parts) have different verge widths; or
- (c) one *road* (or *road* part) has a footpath and the other *road* (or *road* part) does not; or
- (d) one *road* (or *road* part) has a different pavement width to the other *road* (or *road* part).

Note: Refer to Figure 1

Secondary dwelling as defined in section 24 of the Planning Regulation 2017:

secondary dwelling means a dwelling on a lot that is used in conjunction with, but subordinate to, another dwelling on the lot, whether or not the dwelling is—

- (a) attached to the other dwelling; or
- (b) occupied by individuals who are related to, or associated with, the household of the other dwelling.

Secondary frontage boundary of a lot is any *frontage boundary* of a lot that is not the *primary frontage boundary* and includes a frontage facing:

- (a) a *road* on a *corner lot*; or
- (b) a *laneway* or *parkway*; or
- (c) a *park* or *open space*.

Note: Refer to Figure 1

Side boundary means a *common boundary* that is not a *rear boundary*.

Slope means:

- (a) for the purposes of determining maximum *building height*:
 - (i) the gradient of the lot measured across a 20m by 20m area that includes the building location or
 - (ii) where the lot is less than 20m wide the gradient of the lot measured across an area that is 20m by the width of the lot over the building location; or
- (b) for the purposes of determining maximum *slope* of a *private open space* the gradient of the space measured across its length and width.

Storey as defined in section 24 of the Planning Regulation 2017:

storey—

- (a) means a space within a building between 2 floor levels, or a floor level and a ceiling or roof, other than—
 - (i) a space containing only a lift shaft, stairway or meter room; or
 - (ii) a space containing only a bathroom, shower room, laundry, toilet or other sanitary compartment; or

- (iii) a space containing only a combination of the things stated in subparagraph (i) or (ii); or
 - (iv) a basement with a ceiling that is not more than 1m above ground level; and
- (b) includes—
- (i) a mezzanine; and
 - (ii) a roofed structure that is on, or part of, a rooftop, if the structure does not only accommodate building plant and equipment.

Structure as defined in Schedule 2 of the *Building Act 1975*:

structure includes a wall or fence and anything fixed to or projecting from a building, wall, fence or other structure.

Swimming pool as defined in Schedule 2 of the *Building Act 1975* – but does not include an indoor swimming pool:

swimming pool means an excavation or structure—

- (a) capable of being filled with water to a depth of 300mm or more; and
 - (b) capable of being used for swimming, bathing, wading, paddling or some other human aquatic activity; and
 - (c) solely or principally used, or designed, manufactured or adapted to be solely or principally used, for the purposes mentioned in paragraph (b) despite its current use;
- and includes a spa pool, spa tub or similar thing (whether portable or fixed) and a wading pool (other than a portable wading pool), but does not include—
- (d) a fish pond or pool solely or principally used, or designed, manufactured or adapted to be solely or principally used, for ornamental purposes; or
 - (e) a dam or tank solely or principally used, or designed, manufactured or adapted to be solely or principally used, for aquaculture, marine research or storage of water; or
 - (f) a watercourse; or
 - (g) a portable wading pool; or
 - (h) a spa bath situated in a bathroom, other than a spa bath continually filled with water to a depth of more than 300mm; or
 - (i) a birthing pool used solely for waterbirths.

Tourist park has the same meaning as in the Planning Regulation 2017:

tourist park means the use of premises for—

- (a) holiday accommodation in caravans, self-contained cabins, tents or other similar structures; or
- (b) amenity facilities, a food and drink outlet, a manager's residence, offices, recreation facilities for the use of occupants and their visitors, or staff accommodation, if the use is ancillary to the use in paragraph (a).

Uncovered vehicle parking space means an area of the *lot* designated for parking vehicles that does not have a roof.

Utilitarian structure means a clothesline, heating or cooling system, hot water appliance, pump or other *Class 10b structures*, but does not include a gas, electrical or water meter.

Vehicle as defined in section 15 of the Transport Operations (Road Use Management-Road Rules) Regulation 2009:

What is a vehicle

A **vehicle** includes—

- (a) a motor vehicle, trailer and tram; and
- (b) a bicycle; and
- (c) a personal mobility device; and
- (d) an animal-drawn vehicle, and an animal that is being ridden or drawing a vehicle; and
- (e) a combination;

but does not include a motorised mobility device, a wheelchair, a train, a wheeled recreational device or a wheeled toy.

Vehicle parking space means a space to park one or more *vehicles*.

Weather control element means an awning, downpipe, fascia, gutter, rainwater head, rainwater tank, sunscreen, the eaves of a *building* or a *window hood*.

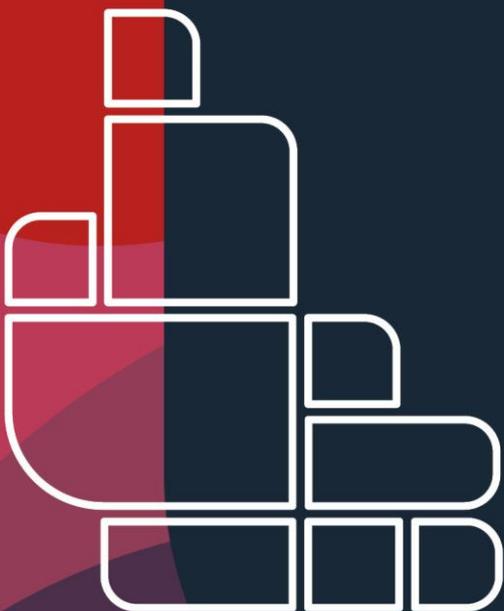
Window as defined in Schedule 1 of the *NCC*:

Window

Includes a [roof light](#), glass panel, glass block or brick, glass louvre, glazed sash, glazed door, or other device which transmits natural light directly from outside a building to the room concerned when in the closed position.

Queensland Housing Code

Chapter 1: Design and siting standards for houses on lots under 450m²



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Design and siting

1. Building and structure height

Performance criteria	Acceptable solutions
<p>P1 Building and structure height</p> <p>1. <i>Building work</i> has a <i>building height</i> that:</p> <ol style="list-style-type: none"> permits adequate sunlight and ventilation to <i>dwellings</i> and <i>private open space</i> in <i>adjoining premises</i>; and is consistent with the <i>building height</i> of <i>dwellings</i> intended or prevailing in the immediate area. 	<p>A1.1 Building and structure height</p> <ol style="list-style-type: none"> <i>Class 1 buildings</i> have a maximum <i>building height</i> of 8.5m. <i>Class 10a buildings</i> have a maximum <i>building height</i> of 4.5m. <i>Class 10b structures</i> and all other <i>buildings</i> have a maximum <i>height</i> of 5m.

Notes

For A1.1:

- The default *acceptable solutions* for building height and *structure height* may be varied by the relevant *local government* planning scheme. Provisions in planning schemes must be prescribed in accordance with Part 3 of the Building Regulation 2021.
- Where the *slope* of a *lot* exceeds 5%, the heights in A1.1(1)-(3) are increased by 1m.

2. QHC setbacks—Frontage boundaries

Performance criteria	Acceptable solutions
<p>P2 QHC setbacks—Frontage boundaries</p> <p>1. <i>Building work</i> is <i>setback</i> from <i>frontage boundaries</i> to:</p> <ol style="list-style-type: none"> optimise the development potential of the <i>lot</i>; facilitate sufficient on-site parking that ensures <i>vehicles can be accommodated within the lot</i>; provide for entry features and weather protection; encourage articulation and visual amenity to the streetscape; complement existing <i>frontage boundary setbacks</i> of neighbouring <i>buildings</i> or <i>structures</i>; and respect the outlook and views of neighbouring residents. 	<p>A2.1 QHC setbacks for buildings</p> <ol style="list-style-type: none"> <i>Class 1 buildings</i> and <i>Class 10a buildings</i> comply with the <i>frontage boundary setbacks</i> in Table 1.
	<p>A2.2 QHC setbacks for structures and fixtures</p> <ol style="list-style-type: none"> <i>Structures</i> and fixtures comply with the <i>frontage boundary setbacks</i> in Table 2.

Notes

For P2 and A2.1 and A2.2:

- Where a *lot* has multiple *frontage boundaries*, *setbacks* in Table 1 and 2 are specified based on the type of *frontage boundary*.

Table 1 — Minimum frontage boundary setbacks for buildings – external walls

Type	Minimum QHC setback			
	Primary frontage boundary	Secondary frontage boundaries — Road	Secondary frontage boundaries — Laneway or Parkway	Secondary frontage boundaries — Other
Class 1 buildings	3m	1.5m	0.5m	2m
Class 10a buildings	Primary frontage boundary	Secondary frontage boundaries — Road	Secondary frontage boundaries — Laneway or Parkway	Secondary frontage boundaries — Other
<i>Building work including:</i> <ul style="list-style-type: none"> - a garage; or - a carport. <i>Building work including a detached:</i> <ul style="list-style-type: none"> - laundry; or - shed. 	5.4m	5.4m	1m	2m
<i>Building work including:</i> <ul style="list-style-type: none"> - a carport that is 3.5m or less in height that does not include a garage door; or - a gatehouse that is 3m or less in height and has a roof area of no more than 4m². 	BTB permitted	BTB permitted	BTB permitted	1m

Notes

In Table 1:

1. Where a laneway or a parkway is the primary frontage boundary of a lot, then the setback for the primary frontage boundary in Table 1 is 2m.
2. Where an adjoining premises is setback less than the primary frontage boundary setback specified in Table 1, the primary frontage boundary setback is reduced by 1m.
3. Any Class 10a building work not specifically listed in Table 1 must comply with the Class 1 setbacks in Table 1.

Table 2— Minimum frontage boundary setbacks – structures and fixtures

Type specified	Minimum QHC setback			
	Primary frontage boundary	Secondary frontage boundary—Road	Secondary frontage boundary—Laneway or Parkway	Secondary frontage boundary—Other
Structures and fixtures If 1.2m or less in height and involving building work that is: <ul style="list-style-type: none"> - a swimming pool. 	1.5m	1.5m	1.5m	1.5m
If 2m or less in height and involving building work that is: <ul style="list-style-type: none"> - a fence (including <i>privacy fencing</i>); or - a retaining wall; or - a <i>privacy screen</i>; or - a utility meter; or - a <i>utilitarian structure</i>, if screened from public view. 	<i>BTB permitted</i>	<i>BTB permitted</i>	<i>BTB permitted</i>	<i>BTB permitted</i>
If 2.4m or less in height and involving building work that is: <ul style="list-style-type: none"> - an external fixture. 	1m	1m	1m	1m
If over 2.4m in height and involving building work that is: <ul style="list-style-type: none"> - an external fixture. 	2m	1m	1m	1m
If 3.0m or less in height and involving building work that is: <ul style="list-style-type: none"> - an arch. 	<i>BTB permitted</i>	<i>BTB permitted</i>	<i>BTB permitted</i>	<i>BTB permitted</i>
If 3.5m or less in height and involving building work that is: <ul style="list-style-type: none"> - a covered outdoor room; or - a balcony. 	1.5m	0.5m	0.5m	1.5m
If 3.5m or less in height and involving building work that is: <ul style="list-style-type: none"> - a weather control element for a carport. 	<i>BTB permitted</i>	<i>BTB permitted</i>	0.5m	1m
If 8.5m or less in height and involving building work that is: <ul style="list-style-type: none"> - a weather control element; or - a <i>privacy screen</i>. 	1.5m	0.5m	<i>BTB permitted</i>	2m

Notes

In Table 2:

1. Where *structures* exceed the *height* requirements stated in Table 2, or are not specifically listed in Table 2, the *setback* in Table 1 for *Class 1 buildings* applies.
2. A reference to a fence, *privacy fence*, *privacy screen* or retaining wall includes a structure that is a combination of a fence, *privacy fence*, *privacy screen* or retaining wall.
3. Where a solid fence extends at least 1m above the level of the *swimming pool* (between the water and the frontage), the *swimming pool may be built to boundary (BTB)*.
4. Further requirements for *swimming pool* barriers are contained in the QDC MP 3.4.

3. QHC setbacks—Common boundaries

Performance criteria	Acceptable solutions
<p>P3 QHC setbacks—Common boundaries</p> <p>1. <i>Building work</i> is <i>setback</i> from the <i>lot</i> boundary to:</p> <ol style="list-style-type: none"> a. ensure adequate natural light and ventilation to <i>habitable rooms</i>; and b. ensure adequate natural light and ventilation to habitable rooms of buildings on adjoining lots; and c. minimise the impact of <i>building work</i> on the amenity and privacy of residents of <i>adjoining premises</i> d. limit the creation of inaccessible spaces between lots that have the potential to adversely impact on public health and amenity. 	<p>A3.1 QHC setbacks for buildings</p> <p>1. <i>Class 1 buildings and Class 10a buildings</i> comply with the <i>common boundary setbacks</i> in Table 3.</p> <hr/> <p>A3.2 QHC setbacks for structures and fixtures</p> <p>1. <i>Structures</i> and fixtures comply with the <i>frontage boundary setbacks</i> in Table 4.</p>

Notes

In A3.2.

- 1 Please note further requirements for heights of dividing fences under the Neighbourhood Disputes (Dividing Fences and Trees) Act 2011.

Table 3 — Minimum common boundary setbacks – external walls

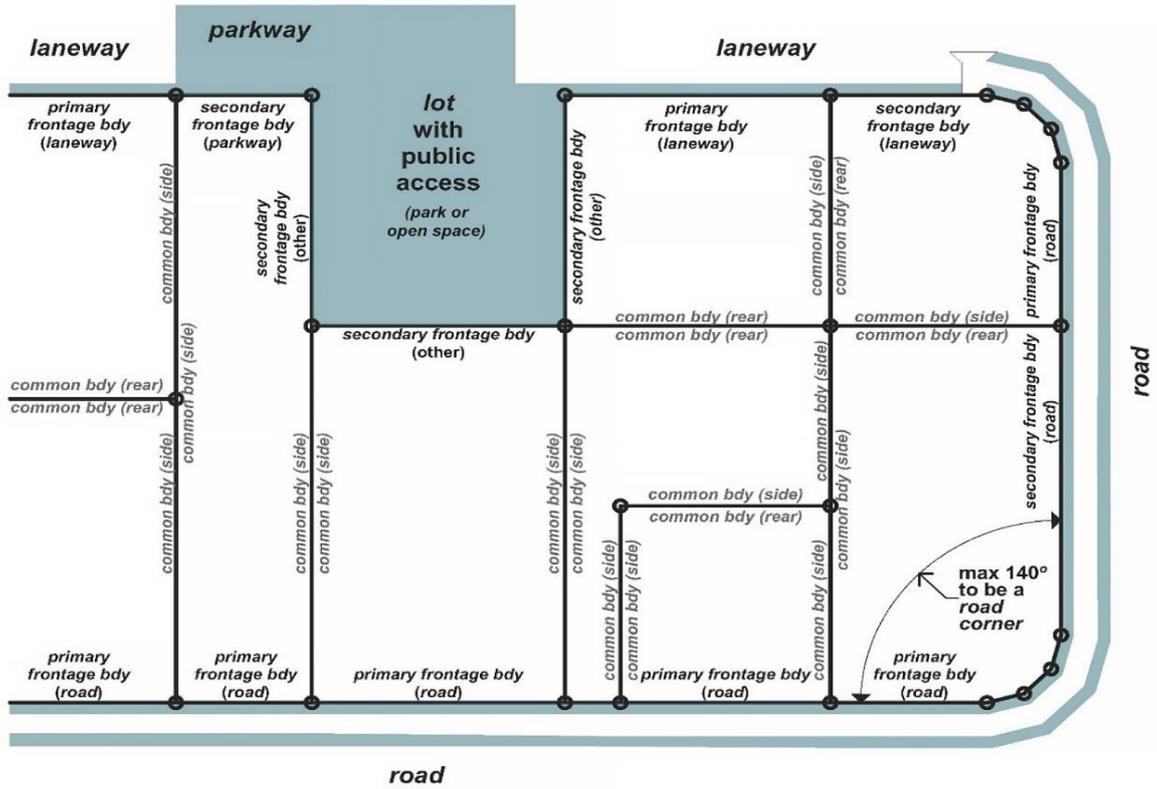
Type	Minimum QHC setback	
	Side boundary	Rear boundary
Class 1 buildings		
The ground floor, or that part of the <i>building</i> that is 4.5m or less in <i>height</i>	1m	3m
The second <i>storey</i> , or that part of the <i>building</i> that is over 4.5m and 8.5m or less in <i>height</i>	1m	2.5m
The third <i>storey</i> , or that part of the <i>building</i> that is over 8.5m in <i>height</i> : Lots up to 12.5m <i>width</i>	2m	2.5m
The third <i>storey</i> , or that part of the <i>building</i> that is over 8.5m in <i>height</i> : Lots more than 12.5m <i>width</i>	2.5m	2.5m
Class 10a buildings		
If 3.5m or less in <i>height</i> and involving <i>building work</i> that is:		
<ul style="list-style-type: none"> - a <i>garage</i>, <i>carport</i>, laundry, or shed up to 9m total combined length along all <i>common boundaries</i>; or - a <i>gatehouse</i> that has a roof area of no more than 4m². 	BTB permitted	BTB permitted

Notes

In Table 3:

1. Table 3 provides separate requirements for each *storey* of a *dwelling* based on *height*. This allows the second *storey* facing the *rear boundary* to cantilever 0.5m over the ground floor. Structural supports may be located in line with the upper *storey setback* distance. Ground floor structural supports for upper *storeys* must not exceed 10% of the length of *external wall* being supported to maintain private open space.
2. Where *Class 10a buildings* exceed the *height* requirements stated in Table 3, or are not specifically listed in Table 3, the *setbacks* for *Class 1 buildings* in Table 3 apply.

Figure 1 — Frontage boundary and common boundary (side and rear) location diagram



Consult

Table 4 — Minimum common boundary setbacks – structures and fixtures

Type specified	Minimum QHC setbacks	
	Side boundary	Rear boundary
Structures and fixtures If 2m or less in height and building work that is: <ul style="list-style-type: none"> - a fence (including <i>privacy fencing</i>); or - a retaining wall; or - a <i>privacy screen</i>; or - a utility meter; or - a <i>utilitarian structure</i>, if screened from public view. 	BTB permitted	BTB permitted
If 2.4m or less in height and involving building work that is: <ul style="list-style-type: none"> - an <i>external fixture</i>. 	0.5m	0.5m
If 3.5m or less in height and involving building work that is: <ul style="list-style-type: none"> - an arch. 	BTB permitted	BTB permitted
If 3.5m or less in height and involving building work that is: <ul style="list-style-type: none"> - a <i>covered outdoor room</i>; or - a <i>balcony</i>. 	0.5m	1.5m
If 3.5m or less in height and involving building work that is: <ul style="list-style-type: none"> - a <i>weather control element</i> for a <i>carport</i>. 	BTB permitted	BTB permitted
If 4.5m or less in height and building work that is: <ul style="list-style-type: none"> - a <i>swimming pool</i>. 	1.5m	1.5m
If 8.5m or less in height and involving building work that is: <ul style="list-style-type: none"> - a <i>weather control element</i>; or - a <i>privacy screen</i>. 	0.5m	1.5m

Notes

In Table 4:

1. Where a *weather control element* is attached to a part of a *building* that is BTB, the minimum setback is BTB.
2. Where *buildings* or *structures* exceed the *height* requirements stated in Table 4, or are not specifically listed in Table 4, the setbacks in Table 3 for *Class 1 buildings* apply.
3. A reference to a fence, *privacy fence*, *privacy screen* or retaining wall includes a structure that is a combination of a fence, *privacy fence*, *privacy screen* or retaining wall.
4. Where a solid fence extends at least 1m above the level of the *swimming pool* (between the water and the *adjoining premises*), the *swimming pool* may be built to boundary (BTB).
5. Further requirements for *swimming pool* barriers are contained in the QDC MP 3.4.
6. Please note further requirements for heights of *dividing fences* under the *Neighbourhood Disputes (Dividing Fences and Trees) Act 2011*.

4. QHC site cover

Performance criteria	Acceptable solutions
<p>P4 QHC site cover</p> <p>1. <i>Building work</i> results in a <i>site cover</i> that:</p> <ol style="list-style-type: none"> provides adequate <i>private open space</i> for recreation; facilitates adequate sunlight and ventilation for inhabitants; is balanced between built form and permeable landscaped areas; positively contributes towards residential amenity and local character; accommodates required service facilities and on-site parking for <i>vehicles</i>. 	<p>A4.1 QHC site cover</p> <p>1. The maximum <i>site cover</i> for all <i>buildings</i> and <i>structures</i> does not exceed:</p> <ol style="list-style-type: none"> on <i>lots</i> 250m² or less: 65%; and on <i>lots</i> greater than 250m²: 60%.

Notes

For A4.1:

- When calculating the maximum *QHC site cover* exclude the area of:
 - a retaining wall; or
 - a fence.

5. Visual privacy

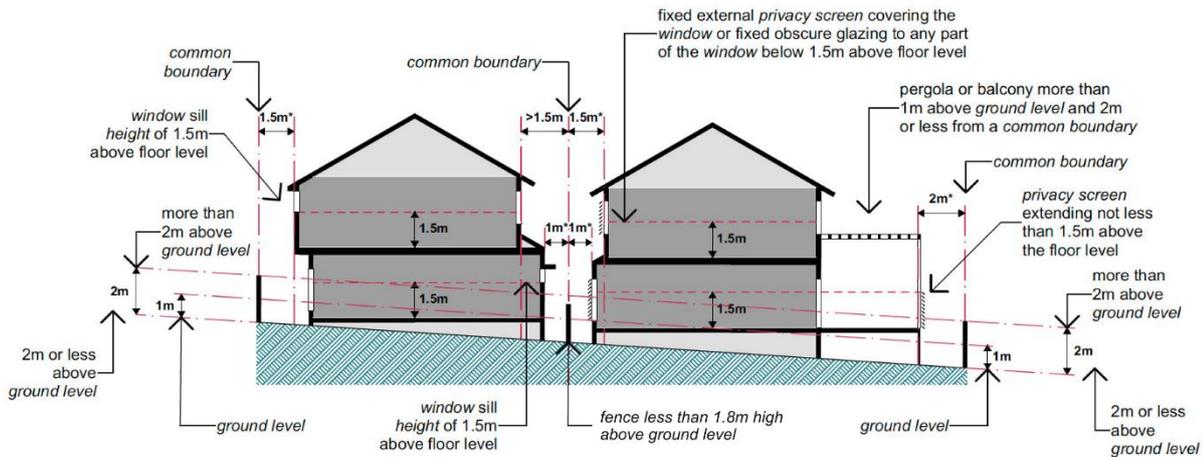
Performance criteria	Acceptable solutions
<p>P5 Visual privacy</p> <p>1. <i>Building work</i> is designed to minimise direct overlooking to <i>adjoining premises</i> through <i>building</i> siting, layout and the configuration of <i>windows</i>, <i>balconies</i>, <i>privacy fences</i> and <i>privacy screens</i>.</p>	<p>A5.1 Visual privacy</p> <ol style="list-style-type: none"> Where the sill of a <i>window</i> is 2m or less above <i>ground level</i> and the <i>window</i> is <i>setback</i> 1m or less from a <i>common boundary</i>, <i>building work</i> includes: <ol style="list-style-type: none"> a <i>privacy fence</i> with a minimum height of 1.8m on the <i>common boundary</i>; or a sill <i>height</i> of 1.5m or more above floor level; or fixed obscure glazing in any part of the <i>window</i> below 1.5m above floor level; or fixed external <i>privacy screens</i> covering the <i>window</i>. Where the sill of a <i>window</i> is more than 2m above <i>ground level</i> and the <i>window</i> is <i>setback</i> 1.5m or less from a <i>common boundary</i>, <i>building work</i> includes: <ol style="list-style-type: none"> a sill <i>height</i> of 1.5m or more above floor level; or fixed obscure glazing in any part of the <i>window</i> below 1.5m above floor level; or fixed external <i>privacy screens</i> covering the <i>window</i>. Where a deck or pergola or <i>balcony</i> is more than 1m above <i>ground level</i> and is <i>setback</i> 2m or less from a <i>common boundary</i>, <i>building work</i> includes a <i>privacy screen</i> at the perimeter of the deck or pergola or <i>balcony</i> facing the <i>common boundary</i> extending not less than 1.5m above the floor level.

Notes

For P5:

1. *Common boundaries* separating adjoining premises that are not residential in use are exempt from Performance Criteria P5.

Figure 2 —Visual privacy example



*Note: In this figure * indicates the dimension or less, e.g. 1.5m* means 1.5m or less

6. Built to boundary walls

Performance criteria	Acceptable solutions
<p>P6.1 Maintenance of built to boundary walls</p> <ol style="list-style-type: none"> 1. The design and construction of a <i>building</i> that is close to a <i>common boundary</i> facilitates building maintenance. 	<p>A6.1 Maintenance of built to boundary walls</p> <ol style="list-style-type: none"> 1. Walls within 750mm of a <i>common boundary</i> must be <i>maintenance free</i>.
<p>P6.2 Location of built to boundary walls</p> <ol style="list-style-type: none"> 1. <i>Building</i> work minimises inaccessible gaps between the <i>common boundary</i> and a <i>building</i>. 	<p>A6.2 Location of built to boundary walls</p> <ol style="list-style-type: none"> 1. A <i>built to boundary wall</i> is <i>setback</i> no more than 200mm from a <i>common boundary</i>.

Streetscape

7. Dwelling entry

Performance criteria	Acceptable solutions
<p>P7 Dwelling entry</p> <p>1. <i>Building work</i>:</p> <ol style="list-style-type: none"> promotes visual interest and a high level of visual amenity to all <i>frontage boundaries</i>; and ensures the entry to a <i>dwelling</i> is clearly identifiable from the street. 	<p>A7.1 Dwelling entry</p> <p>1. <i>Building work</i> ensures that the entry of a <i>dwelling</i> is clearly identifiable from a <i>frontage boundary</i> with a visible:</p> <ol style="list-style-type: none"> front door or pathway leading to an entry door; or gate, gatehouse or arch provided with a house number.

8. Vehicle parking and access

Performance criteria	Acceptable solutions
<p>P8.1 Vehicle parking spaces</p> <p>1. <i>Vehicle parking spaces</i> provided on-site for residents and visitors is sufficient in relation to the scale and use of the <i>dwelling</i>.</p>	<p>A8.1 Number of vehicle parking spaces</p> <ol style="list-style-type: none"> Each dwelling must be provided with a minimum of 2 <i>vehicle parking spaces</i>. At least 1 <i>vehicle parking space</i> must be located in a <i>garage</i> or a <i>carport</i>.
<p>P8.2 Design of vehicle parking spaces</p> <p>1. <i>Vehicle parking spaces, garages</i> and <i>carports</i> are of a sufficient size:</p> <ol style="list-style-type: none"> in relation to the scale and use of the <i>dwelling</i>; and to prevent intrusion of <i>vehicles</i> into public areas. 	<p>A8.2 Design of vehicle parking spaces</p> <p>1. <i>Vehicle parking spaces</i> are designed and constructed to comply with:</p> <ol style="list-style-type: none"> Australian Standard AS2890.1:2004; or the minimum dimensions specified in Table 5 (Figure 3).

Notes

In A8.1:

- The default *acceptable solutions* for *vehicle parking spaces* may be varied by the relevant *local government* planning scheme. Provisions in planning schemes must be prescribed in accordance with Part 3 of the Building Regulation 2021.

Table 5 — Minimum dimensions for vehicle parking spaces

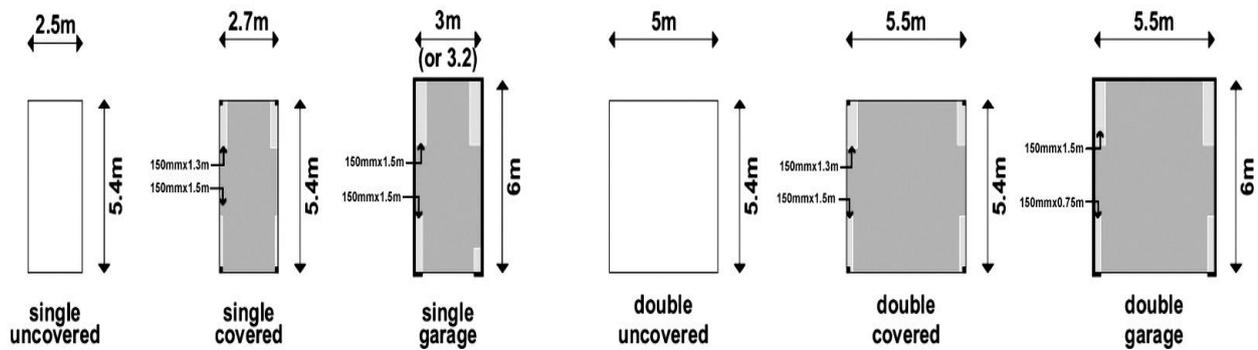
Description	Minimum size	
<i>Uncovered vehicle parking spaces</i>	Width	Depth
Single	2.5m	5.4m
Double	5m	5.4m
<i>Covered vehicle parking spaces</i>	Width	Depth
Single	2.7m	5.4m
Double	5.5m	5.4m
<i>Vehicle parking spaces in a garage</i>	Width	Depth
Single	3m or 3.2m	6m
Double	5.5m	6m

Notes

In Table 5:

1. If level entry access required under the NCC - Liveable Housing Design Standard is provided through a single car garage, then the single parking space must be a minimum width of 3.2m.
2. For covered vehicle parking spaces and vehicle parking spaces in a garage, minor encroachments are permitted to the internal corners of each parking space. The maximum size of each encroachment is limited to 150mm in width by 1.5m in depth (see Figure 3).

Figure 3 — Vehicle parking spaces minimum dimensions



9. Garage and carport presentation

Performance criteria	Acceptable solutions
<p>P9.1 Garage and carport access widths (other than laneways)</p> <p>1. <i>Garages and carports:</i></p> <ol style="list-style-type: none"> are designed and constructed so that <i>vehicles</i> can safely enter from a <i>road</i>; and do not dominate the <i>road</i>. 	<p>A9.1 Garage and carport access widths (other than laneways)</p> <ol style="list-style-type: none"> The access width for <i>garages</i> and <i>carports</i> complies with the maximum widths in Table 6. A <i>garage</i> or <i>carport</i> opening may exceed the maximum width specified in Table 6 if: <ol style="list-style-type: none"> the additional width is 3.3m or less; and the additional width is <i>setback</i> 1m more than any other <i>garage</i> or <i>carport</i> access; and the <i>lot width</i> is greater than 12.5m.
<p>P9.2 Garages and carports facing a laneway</p> <p>1. <i>Garages and carports:</i></p> <ol style="list-style-type: none"> are designed to allow for <i>vehicle</i> entry from the <i>laneway</i>; minimise the visual impact of <i>vehicles</i>, <i>utilities</i>, and <i>utility storage areas</i>. 	<p>A9.2 Garages and carports facing a laneway</p> <ol style="list-style-type: none"> Where a <i>lot</i> is serviced by a <i>laneway</i>, <i>garages</i> and <i>carports</i> can extend along the full length of the <i>secondary frontage (laneway)</i>. <i>Garages</i> and <i>carports</i> facing a <i>laneway</i> can be fitted with a door facing the <i>laneway</i> for the full extent of the <i>garage</i> or <i>carport</i> access width.

Table 6 – Maximum access width of garage and carport

Garage and carport maximum access widths			
Access from <i>frontage boundary</i> other than a <i>laneway</i> and <i>secondary frontage boundary</i>	1 storey	2 storeys, where the first floor overhangs the <i>garage</i> or <i>carport</i> by no less than 0.5m	2 storeys, in all other circumstances
<i>Lot width</i> up to 10m	3.3m	4.8m	3.3m
<i>Lot width</i> between 10m to 12.5m	4.8m	6m	4.8m
<i>Lot width</i> greater than 12.5m	6m		
Access from <i>secondary frontage boundary</i>			
In all circumstances	6m		

10. Fences, walls and screens

Performance criteria	Acceptable solutions
<p>P10 Fences, walls and screens</p> <p>1. <i>Building work</i> ensures that a fence, wall or screen that is provided in association with a <i>dwelling</i>:</p> <ol style="list-style-type: none"> facilitates security and privacy; minimises the impact on the amenity and privacy of residents of <i>adjoining premises</i>; facilitates casual surveillance of public space adjoining any <i>frontage boundary</i>; and enhances the use of <i>private open space</i>. 	<p>A10.1 Frontage boundaries</p> <p>1. A fence, <i>privacy fence</i>, <i>privacy screen</i> or retaining wall located on or within a minimum <i>frontage boundary setback</i> for a <i>class 1 building</i> specified in Table 1 has a maximum <i>height</i> of 2m.</p>
	<p>A10.2 Common boundaries</p> <p>1. A fence, <i>privacy fence</i>, <i>privacy screen</i> or retaining wall located on or within a minimum <i>common boundary setback</i> for a <i>class 1 building</i> specified in Table 3 has a maximum <i>height</i> of 2m.</p>

Notes

In A10.1 and A10.2

- Further requirements for *swimming pool* barriers are contained in the QDC MP 3.4.
- A reference to a fence, *privacy fence*, *privacy screen* or retaining wall includes a structure that is a combination of a fence, *privacy fence*, *privacy screen* or retaining wall.

In A10.2

- Further requirements for *heights of dividing fences* under the *Neighbourhood Disputes (Dividing Fences and Trees) Act 2011*.

Site planning and design

11. Open space

Performance criteria	Acceptable solutions
<p>P11.1 Private open space</p> <p>1. <i>Dwellings</i> are provided with a <i>private open space</i> that has access to natural light, usable proportions that are responsive to the size of the <i>lot</i> and the recreation needs of residents.</p>	<p>A11.1 Private open space</p> <p>1. <i>Dwellings</i> are provided with a <i>private open space</i> that complies with the minimum requirements specified in Table 7 (Figure 4).</p>
<p>P11.2 Landscape open space</p> <p>1. <i>Dwellings</i> are provided with a <i>landscape open space</i> that promotes opportunities for shading, reduces stormwater impacts and enhances the amenity of the streetscape.</p>	<p>A11.2 Landscape open space</p> <p>1. <i>Dwellings</i> are provided with a <i>landscape open space</i> that complies with the minimum requirements specified in Table 7 (Figure 5).</p>

Table 7 — Minimum requirements for *private open space* and *landscape open space*

Type	Minimum dimension	Minimum area	Location	Maximum slope	Use	Building work and landscaping
<i>Private open space - if located 2m or less above ground level</i>	3m	15m ²	Directly accessible from a <i>habitable room</i> other than a bedroom and with at least 7.5m ² open to the sky	A <i>slope</i> of not more than 5%	Not used for utility purposes such as bin storage, clothes drying and the like	Does not include a utilitarian structure
<i>Private open space – if located more than 2m above ground level</i>	2m	9m ²	Directly accessible from a <i>habitable room</i> other than a bedroom and with at least 4.5m ² open to the sky	N/A	Not used for utility purposes such as bin storage, clothes drying and the like	Does not include a utilitarian structure
<i>Landscape open space</i>	2m	6m ²	Between the <i>dwelling</i> and a <i>frontage boundary</i>	N/A	Not used to provide access to the <i>lot</i> or another <i>lot</i>	Does not include paving, any impervious surface or <i>building work</i> both underneath and overhead

Figure 4 — Private open space (POS) example options

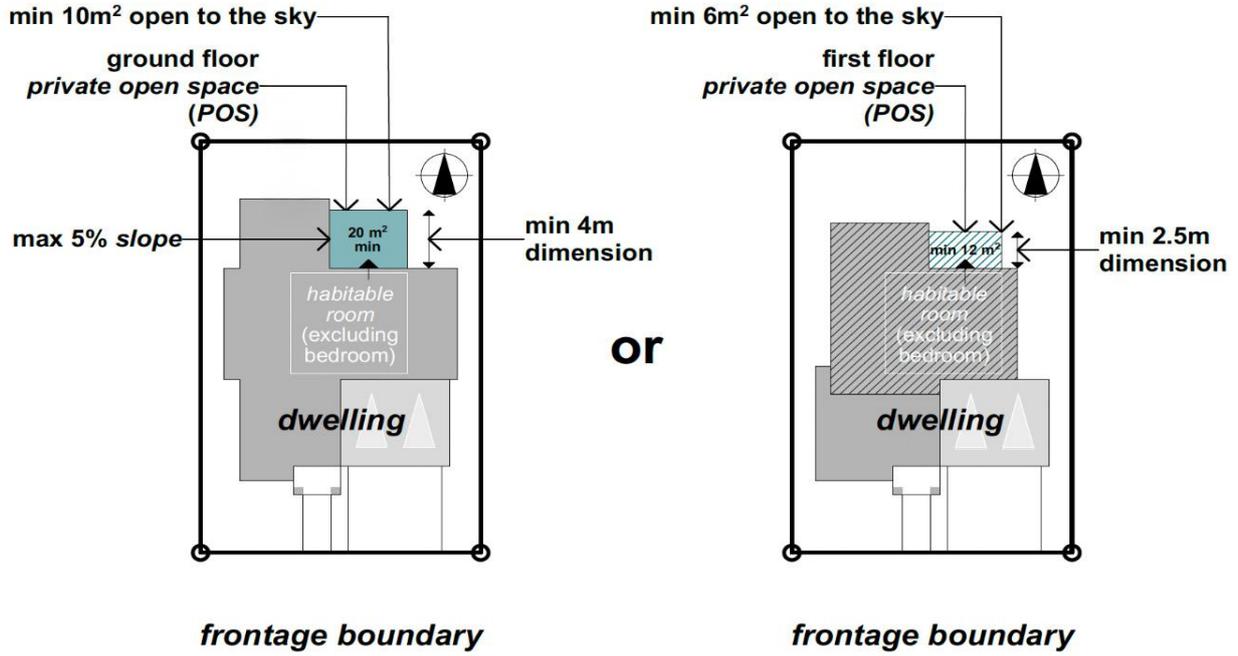
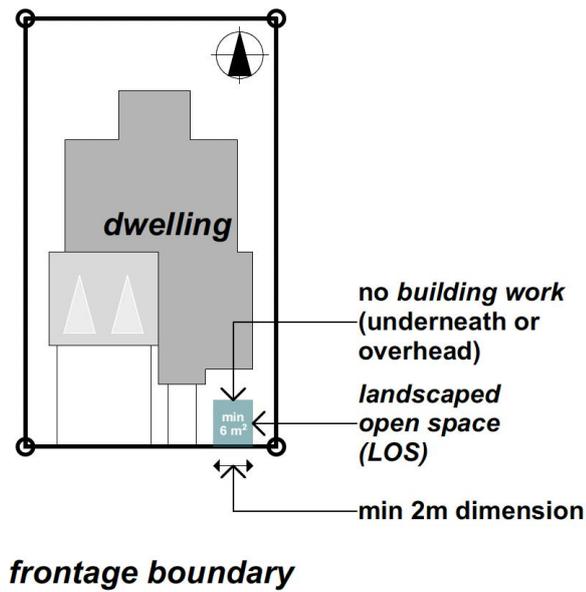
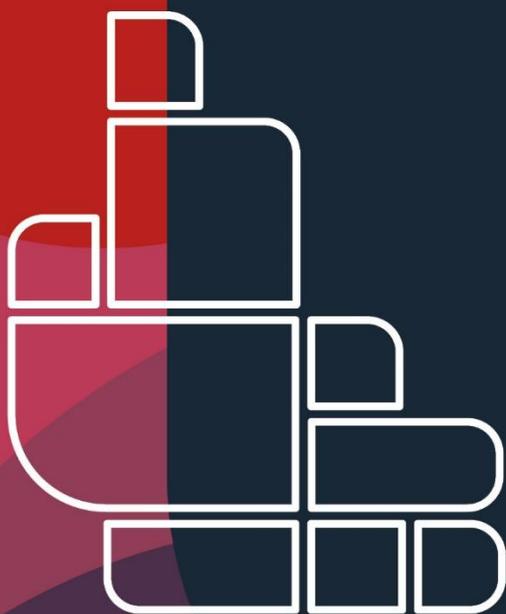


Figure 5 — Landscape open space example



Queensland Housing Code

Chapter 2: Design and siting standards for houses on lots 450m² and over



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Design and siting

1. Building and structure height

Performance criteria	Acceptable solutions
<p>P1 Building and structure height</p> <p>1. <i>Building work</i> has a <i>building height</i> that:</p> <ol style="list-style-type: none"> permits adequate sunlight and ventilation to <i>dwelling</i>s and <i>private open space</i> in <i>adjoining premises</i>; and is consistent with the <i>building height</i> of <i>dwelling</i>s intended or prevailing in the immediate area. 	<p>A1.1 Building and structure height</p> <ol style="list-style-type: none"> <i>Class 1 buildings</i> have a maximum <i>building height</i> of 8.5m. <i>Class 10a buildings</i> have a maximum <i>building height</i> of 4.5m. <i>Class 10b structures</i> and all other <i>buildings</i> have a maximum <i>height</i> of 5m.

Notes

For A1.1:

- The default *acceptable solutions* for *building height* and *structure height* may be varied by the relevant *local government* planning scheme. Provisions in planning schemes must be prescribed in accordance with Part 3 of the Building Regulation 2021.
- Where the *slope* of a *lot* exceeds 5%, the heights in A1.1(1)-(3) are increased by 1m.

2. QHC setbacks—Frontage boundaries

Performance criteria	Acceptable solutions
<p>P2 QHC setbacks—Frontage boundaries</p> <p>1. <i>Building work</i> is <i>setback</i> from <i>frontage boundaries</i> to:</p> <ol style="list-style-type: none"> optimise the development potential of the <i>lot</i>; facilitate sufficient on-site parking that ensures <i>vehicles</i> can be accommodated within the <i>lot</i>; provide for entry features and weather protection; encourage articulation and visual amenity to the streetscape; complement existing <i>frontage boundary setbacks</i> of neighbouring <i>buildings</i> or <i>structures</i>; and respect the outlook and views of neighbouring residents. 	<p>A2.1 QHC setbacks for buildings</p> <ol style="list-style-type: none"> <i>Class 1 buildings</i> and <i>Class 10a buildings</i> comply with the <i>frontage boundary setbacks</i> in Table 1. <p>A2.2 QHC setbacks for structures and fixtures</p> <ol style="list-style-type: none"> <i>Structures</i> and fixtures comply with the <i>frontage boundary setbacks</i> in Table 2.

Notes

For P2 and A2.1 and A2.2:

- Where a *lot* has multiple *frontage boundaries*, *setbacks* in Table 1 and Table 2 are specified based on the type of *frontage boundary*.

Table 1 — Minimum frontage boundary setbacks for buildings – external walls

Type	Minimum QHC setback			
	Primary frontage boundary	Secondary frontage boundaries — Road	Secondary frontage boundaries — Laneway or Parkway	Secondary frontage boundaries — Other
Class 1 buildings				
<i>Class 1 buildings</i>	5m	4m	1m	3m
Class 10a buildings				
<i>Building work including:</i> <ul style="list-style-type: none"> - a garage; or - a carport. <i>Building work including a detached:</i> <ul style="list-style-type: none"> - laundry; or - shed. 	6m	6m	1m	3m
<i>Building work including:</i> <ul style="list-style-type: none"> - a carport that is 3.5m or less in <i>height</i> that does not include a garage door; or - a gatehouse that is 3m or less in <i>height</i> and has a roof area of no more than 4m². 	BTB permitted	BTB permitted	BTB permitted	1m

Notes

In Table 1:

1. Where a laneway or a parkway is the primary frontage boundary of a lot, then the setback for the primary frontage boundary in Table 1 is 2m.
2. Where an adjoining premises is setback less than the primary frontage boundary setback specified in Table 1, the primary frontage boundary setback is reduced by 1m.
3. Any Class 10a building work not specifically listed in Table 1 must comply with the Class 1 setbacks in Table 1.

Table 2—Minimum frontage boundary setbacks – structures and fixtures

Type specified	Minimum QHC setback			
	Primary frontage boundary	Secondary frontage boundaries —Road	Secondary frontage boundaries —Laneway or Parkway	Secondary frontage boundaries —Other
Structures and fixtures If 1.2m or less in height and involving building work that is: <ul style="list-style-type: none"> - a swimming pool. 	1.5m	1.5m	1.5m	1.5m
If 2m or less in height and involving building work that is: <ul style="list-style-type: none"> - a fence (including privacy fencing); or - a retaining wall; or - a privacy screen; or - a utility meter; or - a utilitarian structure, if screened from public view. 	BTB permitted	BTB permitted	BTB permitted	BTB permitted
If 2.4m or less in height and involving building work that is: <ul style="list-style-type: none"> - an external fixture. 	1m	1m	1m	1m
If over 2.4m in height and involving building work that is: <ul style="list-style-type: none"> - an external fixture. 	4m	3m	1.0m	2m
If 3.0m or less in height and involving building work that is: <ul style="list-style-type: none"> - an arch. 	BTB permitted	BTB permitted	BTB permitted	BTB permitted
If 3.5m or less in height and involving building work that is: <ul style="list-style-type: none"> - a covered outdoor room; or - a balcony. 	3m	2.5m	0.5m	1.5m
If 3.5m or less in height and involving building work that is: <ul style="list-style-type: none"> - a weather control element for a carport. 	BTB permitted	BTB permitted	0.5m	1m
If 8.5m or less in height and involving building work that is: <ul style="list-style-type: none"> - a weather control element; or - a privacy screen. 	3m	2.5m	0.25m	1.5m

Notes

In Table 2:

1. Where *structures* exceed the *height* requirements stated in Table 2, or are not specifically listed in Table 2, the *setback* in Table 1 for *Class 1 buildings* applies.
2. A reference to a fence, *privacy fence*, *privacy screen* or retaining wall includes a structure that is a combination of a fence, *privacy fence*, *privacy screen* or retaining wall.
3. Where a solid fence extends at least 1m above the level of the *swimming pool* (between the water and the frontage), the *swimming pool* may be *built to boundary (BTB)*.
4. Further requirements for *swimming pool* barriers are contained in the QDC MP3.4.

3. QHC setbacks—Common boundaries

Performance criteria	Acceptable solutions
<p>P3 QHC setbacks—Common boundaries</p> <ol style="list-style-type: none"> 1. <i>Building work</i> is <i>setback</i> from the <i>lot</i> boundary to: <ol style="list-style-type: none"> a. ensure adequate natural light and ventilation to <i>habitable rooms</i>; and b. ensure adequate natural light and ventilation to habitable rooms of buildings on adjoining lots; and c. minimise the impact of <i>building work</i> on the amenity and privacy of residents of <i>adjoining premises</i>; and d. limit the creation of inaccessible spaces between lots that have the potential to adversely impact on public health and amenity. 	<p>A3.1 QHC setbacks for buildings</p> <ol style="list-style-type: none"> 1. <i>Class 1 buildings</i> and <i>Class 10a buildings</i> comply with the <i>common boundary setbacks</i> in Table 3. <p>A3.2 QHC setbacks for structures and fixtures</p> <ol style="list-style-type: none"> 1. <i>Structures</i> and fixtures comply with the <i>frontage boundary setbacks</i> Table 4.

Notes

In A3.2:

1. Further requirements for *heights* of *dividing fences* apply under the *Neighbourhood Disputes (Dividing Fences and Trees) Act 2011*.

Table 3 — Minimum common boundary setbacks – external walls

Type	Minimum QHC setback	
	Side boundary	Rear boundary
Class 1 buildings		
The ground floor, or that part of the <i>building</i> that is 4.5m or less in <i>height</i>	1.5m	4m
The second <i>storey</i> , or that part of the <i>building</i> that is over 4.5m and 8.5m or less in <i>height</i>	1.5m	3m
The third <i>storey</i> , or that part of the <i>building</i> that is over 8.5m in <i>height</i>	2.5m	3m
Class 10a buildings	Side boundary	Rear boundary
If 3.5m or less in <i>height</i> and involving <i>building work</i> that is:		
- a <i>garage</i> , <i>carport</i> , laundry, or shed up to 9m total combined length along all <i>common boundaries</i> ; or	BTB permitted	BTB permitted
- a <i>gatehouse</i> that has a roof area of no more than 4m ² .		

Notes

In Table 3:

1. There are separate requirements for each *storey* of a *dwelling* based on *height*. This allows the second *storey* facing the *rear boundary* to cantilever 1m over the ground floor. Structural supports may be located in line with the upper *storey setback* distance. Ground floor structural supports for upper *storeys* must not exceed 10% of the length of *external wall* being supported to maintain private open space.
2. Where *Class 10a buildings* exceed the *height* requirements stated in Table 3, or are not specifically listed in Table 3, the *setbacks* for *Class 1 buildings* in Table 3 apply.

Figure 1 — Frontage boundary and common boundary (side and rear) location diagram

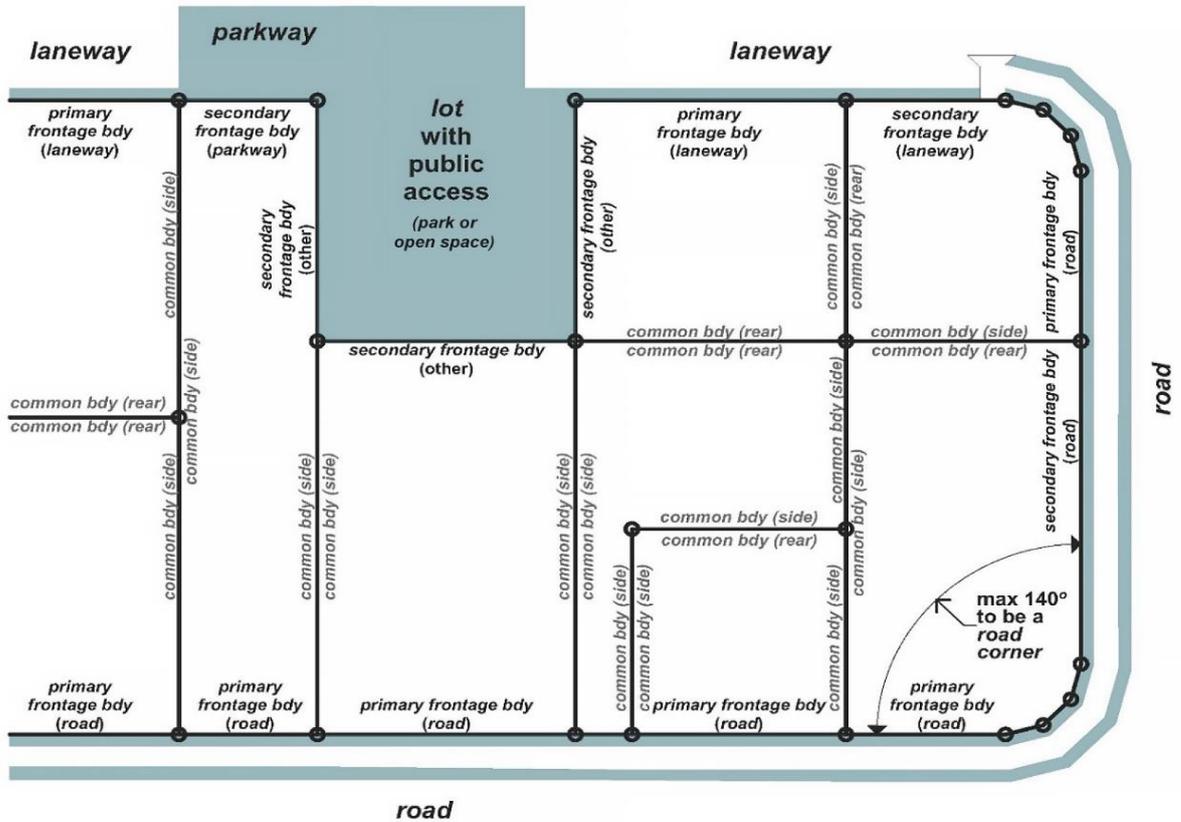


Table 4 — Minimum common boundary setbacks – structures and fixtures

Type specified	Minimum QHC setback	
	Side boundary	Rear boundary
Structures and fixtures		
If 2m or less in height and building work that is: <ul style="list-style-type: none"> - a fence (including <i>privacy fencing</i>); or - a retaining wall; or - a <i>privacy screen</i>; or - a utility meter; or - a <i>utilitarian structure</i>, if screened from public view. 	BTB permitted	BTB permitted
If 2.4m or less in height and building work that is: <ul style="list-style-type: none"> - an <i>external fixture</i>. 	0.5m	0.5m
If 3.0m or less in height and building work that is: <ul style="list-style-type: none"> - an <i>arch</i>. 	BTB permitted	BTB permitted
If 3.5m or less in height and building work that is: <ul style="list-style-type: none"> - a <i>covered outdoor room</i>; or - a <i>balcony</i>. 	1m	2m
If 3.5m or less in height and involving building work that is: <ul style="list-style-type: none"> - a <i>weather control element</i> for a <i>carport</i>. 	BTB permitted	BTB permitted
If 4.5m or less in height and building work that is: <ul style="list-style-type: none"> - a <i>swimming pool</i>. 	1.5m	1.5m
If 8.5m or less in height and building work that is: <ul style="list-style-type: none"> - a <i>weather control element</i>, or - a <i>privacy screen</i>. 	0.5m	2m

Notes

In Table 4:

1. Where a *weather control element* is attached to a part of a *building* that is BTB, the minimum *setback* is BTB.
2. Where *buildings* or *structures* exceed the *height* requirements stated in Table 4, or are not specifically listed in Table 4, the *setbacks* in Table 3 for *Class 1 buildings* apply.
3. A reference to a fence, *privacy fence*, *privacy screen* or retaining wall includes a *structure* that is a combination of a fence, *privacy fence*, *privacy screen* or retaining wall.
4. Where a solid fence extends at least 1m above the level of the *swimming pool* (between the water and the *adjoining premises*), the *swimming pool* may be built to boundary (BTB).
5. Further requirements for *swimming pool* barriers are contained in the QDC MP 3.4 – *Swimming Pool Barriers* (QDC MP 3.4).
6. Further requirements for *heights* of *dividing fences* apply under the *Neighbourhood Disputes (Dividing Fences and Trees) Act 2011*.

4. QHC site cover

Performance criteria	Acceptable solutions
<p>P4 QHC site cover</p> <p>1. <i>Building work</i> results in a <i>site cover</i> that:</p> <ol style="list-style-type: none"> provides adequate <i>private open space</i> for recreation; facilitates adequate sunlight and ventilation for inhabitants; is balanced between built form and permeable landscaped areas; positively contributes towards residential amenity and local character; and accommodates required service facilities and on-site parking for <i>vehicles</i>. 	<p>A4.1 QHC site cover</p> <p>1. The maximum <i>site cover</i> for all <i>buildings</i> and <i>structures</i> does not exceed 50%.</p>

Notes

For A4.1:

- When calculating the maximum *QHC site cover* exclude the area of:
 - a retaining wall; or
 - a fence.

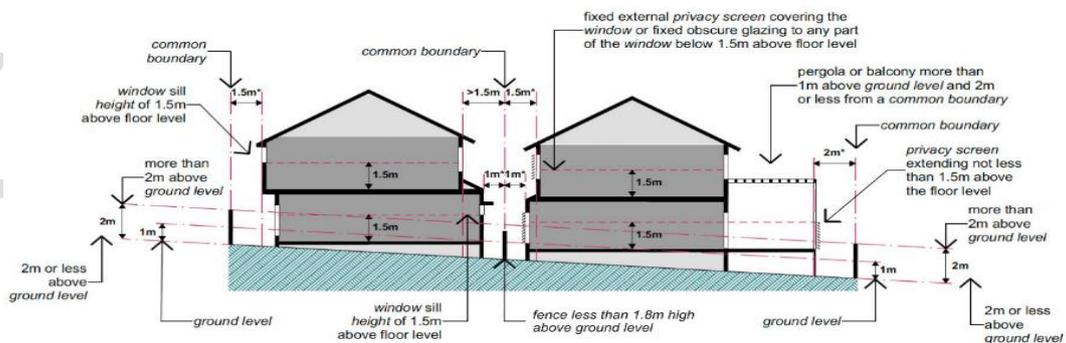
5. Visual privacy

Performance criteria	Acceptable solutions
<p>P5 Visual privacy</p> <p>1. <i>Building work</i> is designed to minimise direct overlooking to <i>adjoining premises</i> through <i>building siting</i>, layout and the configuration of <i>windows</i>, <i>balconies</i>, <i>privacy fences</i> and <i>privacy screens</i>.</p>	<p>A5.1 Visual privacy</p> <p>1. Where the sill of a <i>window</i> is 2m or less above <i>ground level</i> and the <i>window</i> is <i>setback</i> 1m or less from a <i>common boundary</i>, <i>building work</i> includes:</p> <ol style="list-style-type: none"> a <i>privacy fence</i> with a minimum <i>height</i> of 1.8m on the <i>common boundary</i>; or a <i>sill height</i> of 1.5m or more above floor level; or fixed obscure glazing in any part of the <i>window</i> below 1.5m above floor level; or fixed external <i>privacy screens</i> covering the <i>window</i>. <p>2. Where the sill of a <i>window</i> is more than 2m above <i>ground level</i> and the <i>window</i> is <i>setback</i> 1.5m or less from a <i>common boundary</i>, <i>building work</i> includes:</p> <ol style="list-style-type: none"> a <i>sill height</i> of 1.5m or more above floor level; or fixed obscure glazing in any part of the <i>window</i> below 1.5m above floor level; or fixed external <i>privacy screens</i> covering the <i>window</i>. <p>3. Where a deck or pergola or <i>balcony</i> is more than 1m above <i>ground level</i> and is <i>setback</i> 2m or less from a <i>common boundary</i>, <i>building work</i> includes a <i>privacy screen</i> at the perimeter of the deck or pergola or <i>balcony</i> extending not less than 1.5m above the floor level.</p>

Notes

- Common boundaries* separating *adjoining premises* that are not residential in use are exempt from Performance Criteria P5.

Figure 2 — Visual privacy example



*Note: In this figure * indicates the dimension or less, e.g. 1.5m* means 1.5m or less

6. Built to boundary walls

Performance criteria	Acceptable solutions
<p>P6.1 Maintenance of built to boundary walls</p> <p>1. The design and construction of a <i>building</i> that is close to a <i>common boundary</i> facilitates building maintenance.</p>	<p>A6.1 Maintenance of built to boundary walls</p> <p>1. Walls within 750mm of a <i>common boundary</i> must be <i>maintenance free</i>.</p>
<p>P6.2 Location of built to boundary walls</p> <p>1. <i>Building</i> work minimises inaccessible gaps between the <i>common boundary</i> and a <i>building</i>.</p>	<p>A6.2 Location of built to boundary walls</p> <p>1. A <i>built to boundary wall</i> is <i>setback</i> no more than 200mm from a <i>common boundary</i>.</p>

Streetscape

7. Dwelling entry

Performance criteria	Acceptable solutions
<p>P7 Dwelling entry</p> <p>1. <i>Building work</i>:</p> <ol style="list-style-type: none"> promotes visual interest and a high level of visual amenity to all <i>frontage boundaries</i>; and ensures the entry to a <i>dwelling</i> is clearly identifiable from the street. 	<p>A7.1 Dwelling entry</p> <p>1. <i>Building work</i> ensures that the entry of a <i>dwelling</i> is clearly identifiable from a <i>frontage boundary</i> with a visible:</p> <ol style="list-style-type: none"> front door or pathway leading to an entry door; or gate, <i>gatehouse</i> or <i>arch</i> provided with a house number.

8. Vehicle parking and access

Performance criteria	Acceptable solutions
<p>P8.1 Vehicle parking spaces</p> <p>1. <i>Vehicle parking spaces</i> provided on-site for residents and visitors is sufficient in relation to the scale and use of the <i>dwelling</i>.</p>	<p>A8.1 Number of vehicle parking spaces</p> <ol style="list-style-type: none"> Each dwelling must be provided with a minimum of 2 <i>vehicle parking spaces</i>. At least 1 <i>vehicle parking space</i> must be located in a <i>garage</i> or a <i>carport</i>.
<p>P8.2 Design of vehicle parking spaces</p> <p>1. <i>Vehicle parking spaces</i>, <i>garages</i> and <i>carports</i> are of a sufficient size:</p> <ol style="list-style-type: none"> in relation to the scale and use of the <i>dwelling</i>; and to prevent intrusion of <i>vehicles</i> into public areas. 	<p>A8.2 Design of vehicle parking spaces</p> <p>1. <i>Vehicle parking spaces</i> are designed and constructed to comply with:</p> <ol style="list-style-type: none"> Australian Standard AS2890.1:2004; or the minimum dimensions specified in Table 5 (Figure 3).

Notes

In A8.1:

1. The default *acceptable solutions for vehicle parking spaces* may be varied by the relevant *local government* planning scheme. Provisions in planning schemes must be prescribed in accordance with Part 3 of the Building Regulation 2021.

Table 5 — Minimum dimensions for *vehicle parking spaces*

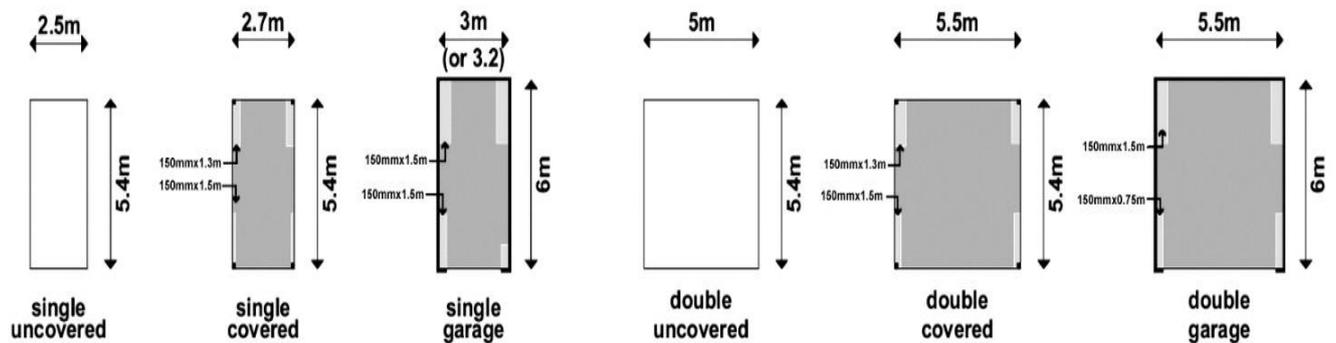
Description	Minimum size	
<i>Uncovered vehicle parking spaces</i>	Width	Depth
Single	2.5m	5.4m
Double	5m	5.4m
<i>Covered vehicle parking spaces</i>	Width	Depth
Single	2.7m	5.4m
Double	5.5m	5.4m
<i>Vehicle parking spaces in a garage</i>	Width	Depth
Single	3m or 3.2m	6m
Double	5.5m	6m

Notes

In Table 5:

1. If level entry access required under the *NCC - Liveable Housing Design Standard* is provided through a single car garage, then the single parking space must be a minimum width of 3.2m.
2. For covered *vehicle parking spaces* and *vehicle parking spaces in a garage*, minor encroachments are permitted to the internal corners of each parking space. The maximum size of each encroachment is limited to 150mm in width by 1.5m in depth (see Figure 3).

Figure 3 — *Vehicle parking spaces* minimum dimensions



9. Garage and carport presentation

Performance criteria	Acceptable solutions
<p>P9.1 Garage and carport access widths (other than laneways)</p> <p>1. <i>Garages and carports:</i></p> <ol style="list-style-type: none"> are designed and constructed so that <i>vehicles</i> can safely enter from a <i>road</i>; and do not visually dominate the streetscape. 	<p>A9.1 Garage and carport access widths (other than laneways)</p> <ol style="list-style-type: none"> The access width for <i>garages</i> and <i>carports</i> complies with the maximum widths in Table 6. A <i>garage</i> or <i>carport</i> access width may exceed the maximum width specified in Table 6 if: <ol style="list-style-type: none"> the additional width is 3.3m or less; and the additional width is setback 1m more than any other garage or carport opening; and the <i>lot width</i> is greater than 12.5m.
<p>P9.2 Garages and carports facing a laneway</p> <p>1. <i>Garages and carports:</i></p> <ol style="list-style-type: none"> are designed to allow for <i>vehicle</i> entry from the <i>laneway</i>; minimise the visual impact of <i>vehicles</i>, <i>utilities</i>, and <i>utility storage areas</i>. 	<p>A9.2 Garages and carports facing a laneway</p> <ol style="list-style-type: none"> Where a <i>lot</i> is serviced by a <i>laneway</i>, <i>garages</i> and <i>carports</i> can extend along the full length of the <i>secondary frontage (laneway)</i>. <i>Garages</i> and <i>carports</i> facing a <i>laneway</i> can be fitted with a door facing the <i>laneway</i> for the full extent of the <i>garage</i> or <i>carport</i> access width.

Table 6 – Maximum access width of garage and carport

Garage and carport maximum access widths			
Access from <i>frontage boundary</i> other than a <i>laneway</i> and <i>secondary frontage boundary</i>	1 storey	2 storeys, where the first floor overhangs the <i>garage</i> or <i>carport</i> by no less than 0.5m	2 storeys, in all other circumstances
Lot width up to 10m	3.3m	4.8m	3.3m
Lot width between 10m to 12.5m	4.8m	6m	4.8m
Lot width greater than 12.5m	6m		
Access from <i>secondary frontage boundary</i>			
In all circumstances	6m		

10. Fences, walls and screens

Performance criteria	Acceptable solutions
<p>P10 Fences, walls and screens</p> <ol style="list-style-type: none"> 1. <i>Building work</i> ensures that a fence, wall or screen that is provided in association with a <i>dwelling</i>: <ol style="list-style-type: none"> a. facilitates security and privacy; b. minimises the impact on the amenity and privacy of residents of <i>adjoining premises</i>; c. facilitates casual surveillance of public space adjoining any <i>frontage boundary</i>; and d. enhances the use of <i>private open space</i>. 	<p>A10.1 Frontage boundaries</p> <ol style="list-style-type: none"> 1. A fence, <i>privacy fence</i>, <i>privacy screen</i> or retaining wall located on or within a minimum <i>frontage boundary setback</i> for a <i>Class 1 building</i> specified in Table 1, has a maximum <i>height</i> of 2m. <hr/> <p>A10.2 Common boundaries</p> <ol style="list-style-type: none"> 1. A fence, <i>privacy fence</i>, <i>privacy screen</i> or retaining wall located on or within a minimum <i>common boundary setback</i> for a <i>Class 1 building</i> specified in Table 3, has a maximum <i>height</i> of 2m.

Notes

In A10.1 and A10.2

1. Further requirements for *swimming pool* barriers are contained in the QDC MP 3.4.
2. A reference to a fence, *privacy fence*, *privacy screen* or retaining wall includes a structure that is a combination of a fence, *privacy fence*, *privacy screen* or retaining wall.

In A10.2

3. Further requirements for *heights* of *dividing fences* under the *Neighbourhood Disputes (Dividing Fences and Trees) Act 2011*.

Site planning and design

11. Open space

Performance criteria	Acceptable solutions
<p>P11.1 Private open space</p> <p>1. Dwellings are provided with a <i>private open space</i> that has access to natural light, usable proportions that are responsive to the size of the <i>lot</i> and the recreation needs of residents.</p>	<p>A11.1 Private open space</p> <p>1. Dwellings are provided with a <i>private open space</i> that complies with the minimum requirements specified in Table 7 (Figure 4).</p>
<p>P11.2 Landscape open space</p> <p>1. Dwellings are provided with a <i>landscape open space</i> that promotes opportunities for shading, reduces stormwater impacts and enhances the amenity of the streetscape.</p>	<p>A11.2 Landscape open space</p> <p>1. Dwellings are provided with a <i>landscape open space</i> that complies with the minimum requirements specified in Table 7 (Figure 5).</p>

Table 7 — Minimum requirements for *private open space* and *landscape open space*

Type	Minimum dimension	Minimum area	Location	Maximum slope	Use	Building work and landscaping
Private open space – if located 2m or less above ground level	4m	20m ²	Directly accessible from a <i>habitable room</i> other than a bedroom and with at least 10m ² open to the sky	A <i>slope</i> of not more than 5%	Not used for utility purposes such as bin storage, clothes drying and the like	Does not include a utilitarian structure
Private open space – if located more than 2m above ground level	2.5m	12m ²	Directly accessible from a <i>habitable room</i> other than a bedroom and with at least 6m ² open to the sky	N/A	Not used for utility purposes such as bin storage, clothes drying and the like	Does not include a utilitarian structure
Landscape open space	2.5m	10m ²	Between the <i>dwelling</i> and a <i>frontage boundary</i>	N/A	Not used to provide access to the <i>lot</i> or another <i>lot</i>	Does not include paving, any impervious surface or <i>building work</i> both underneath and overhead

Figure 4 — Private open space (POS) example options

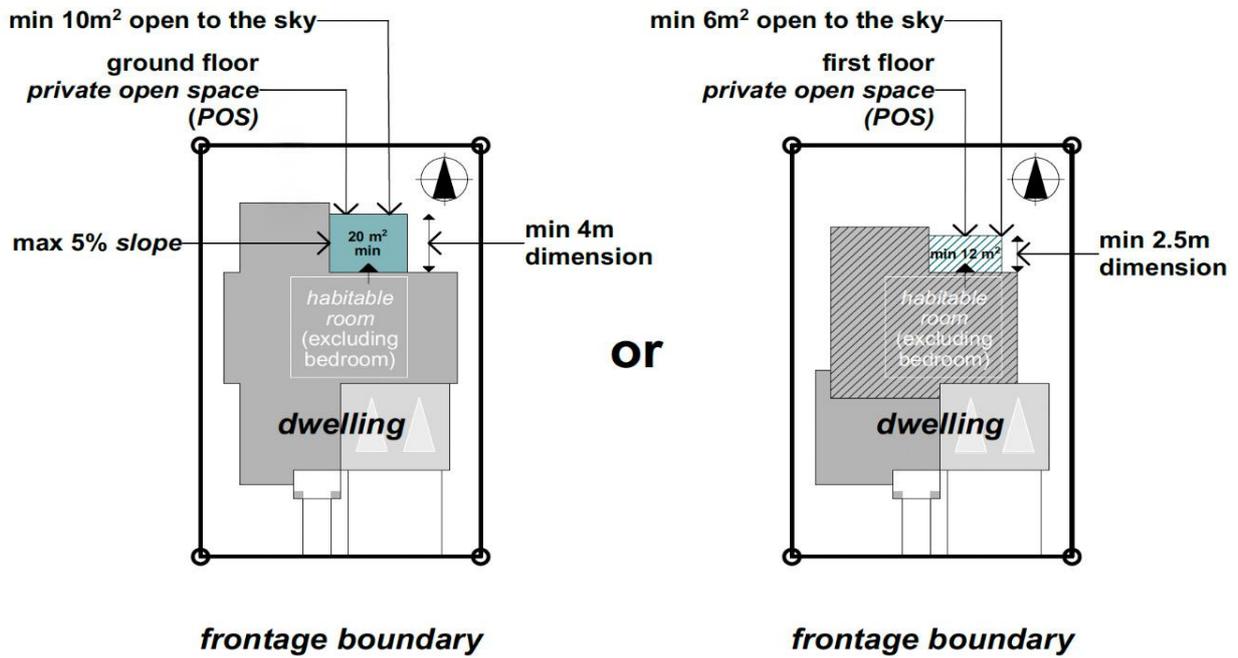
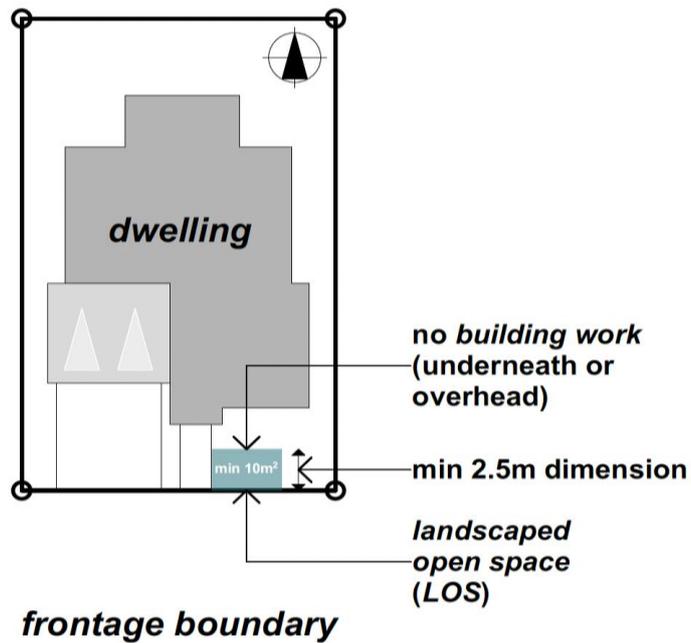


Figure 5 — Landscape open space example



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